

**Appeal Process, Refusal by Letchworth Garden City Heritage
Foundation to Grant Consent for alterations to
28 South View, Letchworth Garden City, SG6 3JJ**

February 2025

Summary of Proposed Alterations for Appeal:

Re-render.

Incorporate external insulation.

Minor extension to roof over gable walls to replicate tiled under cloak feature.

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Grounds for Appeal

The Scheme of Management states that “the **standards of appearance** and amenity (whether existing or in future) on the Estate shall be preserved” and states Letchworth Garden City Heritage Foundation (LGCHF) will “not unreasonably withhold consent” for planning applications.

The Appellants seek to demonstrate that the proposal **does** preserve the standards of appearance, and that permission **is** unreasonably being withheld on the following grounds:

1. The external insulation restrictions included in the Design Principles are unreasonable.
2. The property does not merit being designated as a “Home of Special Interest”.
3. The proposed works will be consistent with the character of the locality and improve the “standard of appearance” of the property.

1. The external insulation restrictions included in the Design Principles are unreasonable.

The Design Principles provide information to applicants and aid consistency in decision making, but they are not comprehensive, and the appeal process exists to challenge when the Design Principles themselves may be resulting in the unreasonable withholding of consent. The Appellants’ expectation is the appeal process should be evaluating a proposal against the Letchworth Scheme of Management. The Appellants consider the existing Design Principles are unreasonable with regard to external insulation because they:

- Ignore Health and Wellbeing
- Have resulted from mission creep and exhibit overreach
- Ignore National and Local Policy changes that accommodate energy price increases and understanding of environmental damage
- Ignore Developments in External Insulation Solutions

Ignore Health and Wellbeing

Any reasonable decision makes a trade off. In this case the possibility that a passer by might notice some small change in the external appearance of the house, versus the health of the occupants of the family home. Currently the appellants have a constant battle with mould growing on the cold external walls which will be resolved by external insulation.



Illustration 1: Master Bedroom

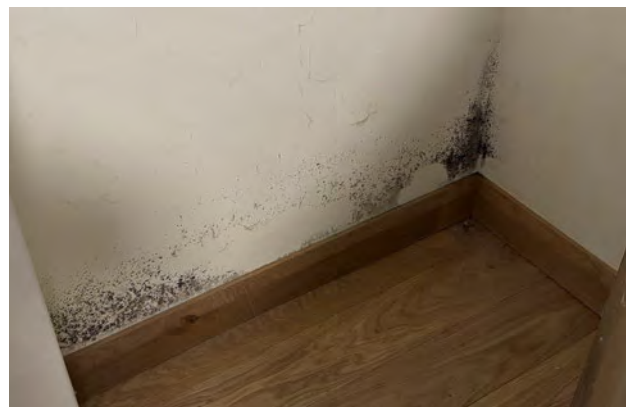


Illustration 2: Lounge

Early garden city houses with open fires had high numbers of air changes per hour due to having chimneys in every room. People in the 1920s accepted that it was cold and draughty by modern standards.

The introduction of central heating meant a chimney (hole in the roof) in every room was no longer necessary and houses became warmer and also more humid.

Water will condense on any surface that is below the dew point of the air in the house, and with solid wall houses the walls are at 6C on cold winter days. In air at a temperature of 20C a relative humidity below 40% is necessary to prevent condensation on the 6C walls. Drying air to this level throughout the house requires multiple dehumidifiers running and whilst inhibiting mould growth it would result in dry throats and discomfort for the occupants, noise pollution and significant electricity costs.

Currently the appellants run a single centrally placed dehumidifier which is able to maintain 50% relative humidity and reduces, but does not eliminate, the mould growth on walls, while generating unwelcome noise and expense.

External insulation will bring the wall temperature above the dew point, removing the problem of water condensing on the walls and causing the mould to grow.

LGCHF objects include “promoting the relief of poverty and sickness within Letchworth Garden City”. They could make real progress on that goal by not preventing people from ridding their houses of mould growth conditions.

The potential health impacts, along with appreciable heating costs that result from the external insulation ban in the current Design Principles is unreasonable.

Mission Creep

LGCHF Design Principles have become increasingly restrictive and the Appellants suggest now reach beyond the Scheme of Management. The Scheme of Management only requires that “*standards of appearance*” are maintained. The Appellants suggest that LGCHF refusal to grant consent is unreasonable because the basis appears to be every construction detail is precisely replicated and the original fabric retained. This basis goes well beyond “standards of appearance”.

In 2000, the year after 28 South View was purchased, the District Council and Heritage Foundation had a common set of guidance for homeowners, this guidance remains as the councils Supplementary Planning Document for Letchworth. By 2015, the Heritage Foundation had introduced a new and more restrictive set of Design Principles.

The Scheme of Management provides the Heritage Foundation with the rights equivalent to the management of a conservation area, not to introduce an alternative listed building scheme. The introduction of the concept of Homes of Special Interest (in 2015) is equivalent to introducing a listed scheme, but it has been done without the rigour that such a process would require. For example, homeowners have not been provided with any rationale as to why their house is of Special Interest and have had no right of appeal to the designation of their property as a ‘Home of Special Interest’ (see Appendix A). Currently 1,700 homes (over 10% of the towns housing stock) are designated ‘Special Interest’ which is stretching the definition of special.

Resist National and Local Policy Direction

The environmental damage caused by fossil fuels is now recognised:

- RIBAs code of conduct has a section covering ‘The Environment’ requiring its members to promote sustainable design and development principles.
- LGCHF has recently introduced a sustainability strategy (2023) with a commitment to support energy efficiency and climate mitigation.
- Updated building standards require both new homes **and works on existing homes** to provide high levels of insulation.

Meanwhile the Design Principles have introduced a ban on external insulation on over a thousand homes.

Without insulation, 28 South View will soon be deemed unfit for tenancy by incoming government regulations. With building standards moving in one direction and the Foundation Design Standards moving in the opposite direction a large disconnect has been created.

The cost of energy has been increasing dramatically and for older solid walled properties the rising heating costs can only be effectively remediated through the addition of insulation.

Experts are very clear that there should be a fabric first approach to making homes more sustainable. Over the last ten years industry has developed and delivered effective external insulation solutions that can be, and have been installed in conservation areas (see Appendix B).

In Letchworth both social housing providers and private home owners are submitting applications to the Heritage Foundation to externally insulate houses. These applications appear to stall in the Heritage Foundation planning system. Denying property owners the right to insulate homes goes against the fundamental principle behind Letchworth’s founding principles of tackling poverty and sickness.

External insulation has benefits over internal insulation by using the thermal mass of the walls to restrain temperature swings. When compared to internal insulation external insulation solutions are:

- Less disruptive to the householder. Internal insulation reduces room sizes and in a house like 28 South View will require moving structural features like doorways and moving or narrowing staircases.
- A lower risk to building structures. Internal insulation will reduce the temperature of the external walls further by preventing the buildings heat from reaching them. If the room air can contact these colder walls even more water will condense on the contact area and any structural elements touching them, such as ceiling joists, resulting in much greater risk to the building fabric. Internal insulation must therefore be airtight and that is very difficult to achieve as it demands a level of attention to detail builders rarely deliver.

Fail to recognise external insulation product development

The Heritage Area Design Principles glossary defines Artificial Cladding as “External wall cladding manufactured to represent original wall finish materials such as rendering or brickwork; usually to provide additional insulation”. The external insulation solution proposed for 28 South View involves adding a layer of insulation to the walls and then re-rendering over the insulated walls.

This is a different process and as such the statement “External cladding is not acceptable on Homes of Special Interest” is not relevant to the proposal because that is not the solution proposed. This basis for refusal is therefore spurious.

Fewer external insulation solutions were available at the time the Design Principles were written. The Appellants believe that the blanket ban on external cladding was originally introduced to discourage Artificial Appliqué finishes and imitations. As well as external cladding, there is now the option to install external insulation and then have the house re-rendered. Renders are available to cover external insulation which will look the same as the finish already approved and in place on the loft conversion dormer and garage of the property. These proposals, replicating the original rendered appearance, do not qualify as imitation.

2. The property does not merit being designated as a “Home of Special Interest”

The property is not a landmark. It is not an exceptional example of the architects work. The restrictions that result from LGCHF unreasonable determination of the property as a Home of Special Interest inhibits sympathetic modifications on the property when a project incorporates external insulation.

There are 15 properties on South View which were designed by Bennett and Bidwell, of these 8 are deemed to be of ‘Special Interest’, the rest not. Just being designed by these architects is clearly not sufficient to be considered special. The Appellants request for the rationale as to why 28 South View is designated a ‘Home of Special Interest’ (see Appendix A) received no response. Bennett and Bidwell designs are very common in Letchworth, there are over 600 properties built from their plans in the town. Bennett and Bidwell designed a number of significant buildings in Letchworth, but 28 South View is not one of them.

There is no evidence that a rigorous process underpins the list of ‘Homes of Special Interest’, which is unreasonable given the impact this designation can have on homeowners ability to make improvements. For example, Numbers 24, 26, 28 and 30 South View are detached houses which were originally built to the same external design, Numbers 26, 28 and 30 South View are identified as ‘Homes of Special Interest’ but 24 is not. As a result Number 28 may not be externally insulated while Number 24 has no such restriction. ‘Arbitrary’ would be a better word than ‘reasonable’ to describe the situation.

28 South View was designated a ‘Home of Special Interest’ subsequent to the Appellants purchasing the property with no rationale and no right to appeal offered at the time that it was given this designation.

The town has 433 homes which are listed buildings, and an additional 39 homes which are locally listed. 28 South View is not on either of these lists so is not considered a heritage asset by the planning authorities.

A reason consent was refused was “28 South View was designed by Bennett and Bidwell in the early 1920s and is considered a Home of Special Interest.” The Appellants consider this inadequate justification unreasonable, and if the Heritage Foundation had a process for challenging the designation of 28 South View as a Home of Special Interest they would challenge this designation.

3. The proposed works will be consistent with the character of the locality and improve the “standard of appearance” of the property

Decision is not based upon “Standards of Appearance”

The Appellants have taken great pains to show that the external appearance would not be significantly altered and appeal against LGCHFs apparent position of simply retaining the original building fabric. The proposed works will improve the external appearance as it will cover unsightly bodged roughcast repairs and raise the render appearance to the quality of the garage and dormer. It is unlikely that a passer-by would notice the very minor changes to the external appearance proposed for 28 South View.

Considerable care has been taken by the Applicants to ensure that the external insulation detailing and weatherproofing will be fit for purpose, meet relevant standards and not compromise the integrity of the original structure.

Much of the character of 28 South View is in its interior, rather than its relatively simple exterior, which is fully rendered with limited detailing. The Design Principles for External Insulation require “the detailing and features of the property, including the brick and render finish, string courses, window and door reveals, are maintained or carefully recreated;” whilst extensions, which will remove or enclose house features are required to be “consistent with the character of the original house, utilising the detailing and matching materials”. Requiring that 28 South View retains every feature when neighbouring houses have been extensively extended in all directions, changing their appearance far more than this application intends, is unreasonable.

It would be reasonable to expect that changes are in-keeping with the character of houses in the locality as specified in the Scheme of Management, and the Appellants believe they have done this.

Appendix B provides details of a successful planning inspectorate appeal, in a conservation area, which sets a precedent that external insulation retrofits are only required to deliver a solution which fits with the character of a locality, not replicate every feature on the property. The proposals for 28 South View involve vastly less change to the appearance of a detached home than approved changes to the semi detached property sited in Appendix B.

On South View properties have been externally painted and have had extensive front, side and rear extensions, both prior to and subsequent to receiving the designation of being a ‘Home of Special Interest’. The precedent this gives is that ‘Homes of Special Interest’ should remain in character with the street scene, rather than remain as built, and in this context the outright ban on ‘External Cladding’ in the Design Principles for a particular subset of homeowners would seem an unreasonable statement, as well as an overreach beyond the authority given by the Scheme of Management.

Inadequate clarity about details to be retained

Despite many enquiries LGCHF has been unable, or reluctant, to specify precisely which property features it wishes to retain and to what extent. It has also failed to provide clarification when requested, hampering the Appellants ability to explore if adjustments to the proposal could better accommodate LGCHF wishes.

The Heritage Foundation state that they will “discuss your ideas and help you develop a scheme that meets your needs, is sympathetic to your home and compliant with the Design Principles”. Throughout the application process (the pre-application advice, the initial application, and the visit

of the AMC) the Applicants have requested precise feedback on which detailing and features the application needed to carefully recreate, which the proposal was considered to have maintained or carefully recreated and which it has failed to find an adequate solution (see Appendix C). However, the Appellants have never been advised as to which features they have failed to “replicate” so have been unable to explore if alternative options would have been more acceptable.

The Appellants consider it unreasonable to claim that “The proposals were not able to demonstrate that the original architectural detailing of the property and its original appearance would not be harmed by the proposed works” without providing specific feedback on the particular features on which this decision was based. How can applicants be expected to submit a revised proposal more likely to be accepted if they are not told the specific concerns the Heritage Foundation had with the last one?

Summary

In conclusion, the proposed external insulation of this house in Letchworth Garden City is a carefully considered project that balances the need to provide a healthy living space with the preservation of the area's heritage character. By using materials and finishes already used on the property itself and the styling inline with other nearby houses, the proposal complies with the Letchworth Garden City Scheme of Management's requirement to ‘preserve the standard of appearance and amenity’. This project reduces energy consumption and carbon emissions, aligning with the Foundation's sustainability goals, and benefits both the household and the community.

While the proposal is not compliant with the current revision of the Design Standards, those standards are evolving in the opposite direction to national policy, have become at odds with current times, and are unreasonable in a number of respects. The Heritage Foundation, an organisation whose planning authority is limited by the Scheme of Management, has no reasonable grounds for declining this application.

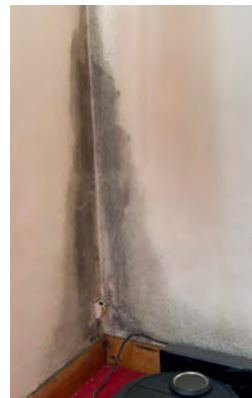
The Appellants respectfully request that the appeal be upheld, allowing them to proceed with this important improvement.

Views of The Existing House



Background Information

- The detached house and detached garage (built in 2010) at 28 South View have dash rendering. This rendering has not been painted. Neighbouring properties all diverge in appearance through being painted white.
- The walls of the loft conversion dormer have significant insulation and are not included in this proposed alteration. These walls are pebble dashed to blend with the original house.
- The existing house render has been patched on a number of faces, which is visually unattractive.
- The roof insulation that was installed when the house was re-tiled extended the depth of the eaves by approximately 12 cm. Introducing insulation as part of the re-rendering will return the eave depth to that of the original house.
- The side and rear garden doors have white PVC coating on aluminium frames.
- The existing windows and window sills have white PVC coating on aluminium frames.
- The installed windows have trickle vents that have sufficient area to provide the required air changes to the house through planned natural ventilation.
- The house currently benefits from underfloor insulation, roof insulation and double glazing. However, it is still expensive to heat, modelling suggests the introduction of external insulation can reduce the annual heat requirement by 7,000 kwh.
- Unhealthy mould growth is a persistent problem and requires routine removal (see photos which illustrate the extent of the mould build up behind furniture). Even when furniture is situated with an air gap the mould returns due to the particularly cold temperatures of the solid walls in the winter months. The front facing bedroom, with three external walls is particularly vulnerable to mould. The problem of mould caused by condensation on walls will be addressed if the internal walls are made warmer through insulation. External insulation has been chosen to avoid the risk of interstitial condensation associated with internal insulation



Approved Alteration Proposed to Front Entrance of Property

Neighbouring properties, and South View, have integrated the original sheltered entrance into the houses by adding significant front extensions with pitched tiled roofs.



South View

A more limited change has been approved for 28 South View. The existing sheltered entranceway will be enclosed by moving the position of the front door forward and extending the existing exterior wall. A new pitched tiled canopy will then be added, to provide garden city character and ensure the house retains the benefit from a sheltered entranceway.



The pitched tiled canopy will be constructed with Marley Clay Ashdowne tiles, matching the house roof. It will be supported by a black corner post and will have white fascia and black guttering to match with the existing fascia and guttering on the house.

This solution will address a flaw in the original house design, where the high level guttering overflows over the front entranceway during heavy rain due to the long length of run of the guttering on the left side of the house. A downpipe from one section of the high level gutter to the canopy roof will improve the functionality of the guttering.

The front door (as shown) will be a composite door with an Irish Oak finish, patterned glass and black accessories.



Adding Dash Rendered External Insulation

Dash Render Solution

The external insulation will be placed on top of the existing render, ensuring that the external insulation only adds to the structural soundness of the house. This diagram shows the system components for the Johnson's StormShield product, which is one of a number of companies that provide this external insulation solution.

100mm of external insulation will be fixed to the four faces of the detached house and a dash render applied. This render will have a cream base and Harvest Aggregate. This finish has been selected as it provides the best match to the existing house render colour and texture.



Cream



Harvest

Description

Packaging

A mix of buff quartz and white calcined flint gives a great mix with the white lifting the colours of the buff with great contrast.

Sizes: 5-8mm

Colour: White, Golden, Yellow

Shape: Angular

Rock type: Quartz and Flint

[GET A QUOTE](#)

External Drain Pipes

All the external pipes will be moved out an appropriate distance which will ensure the insulation has no effect on the wall contours.

Roof Works

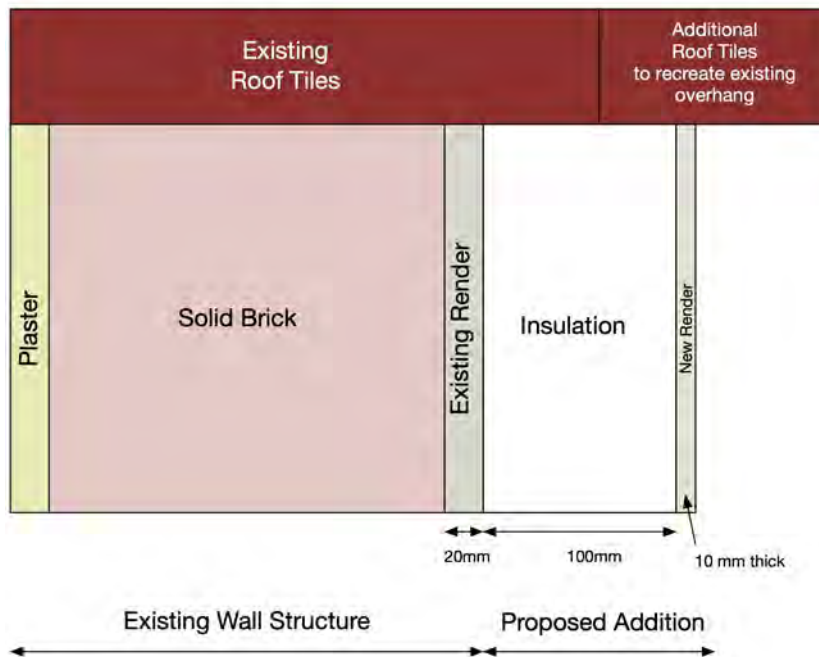
On the Side Elevation the roof tiling above the gable wall will be extended by 11cm to cover the external insulation and render (fully reproducing the gables with tiled under cloak feature). The existing lead where the chimney meets the tiles will be extended to enclose and protect the insulation and render at the top of the gable end. The chimney brickwork will remain visible above the roofline. No change will be visible from the front elevation.



The proposed alterations to the chimney appearance on Number 28 have less impact on chimney appearances than have resulted from the approved extensions on a neighbouring property. The proposal will leave the same area of the chimney visible as is visible on Number 28, following its permitted two story extension.

The roof tiling above the Front Gable Wall will be extended by 11cm to cover the external insulation and render (fully reproducing the gables with tiled under cloak feature).

Gable End Vertical Section



Corbelling Using Creasing Tile slips

The shape and appearance of the existing corbelling will be recreated using strips cut from Marley clay creasing tiles in the new wall.

Windows

Windows will be left in situ for the following reasons:

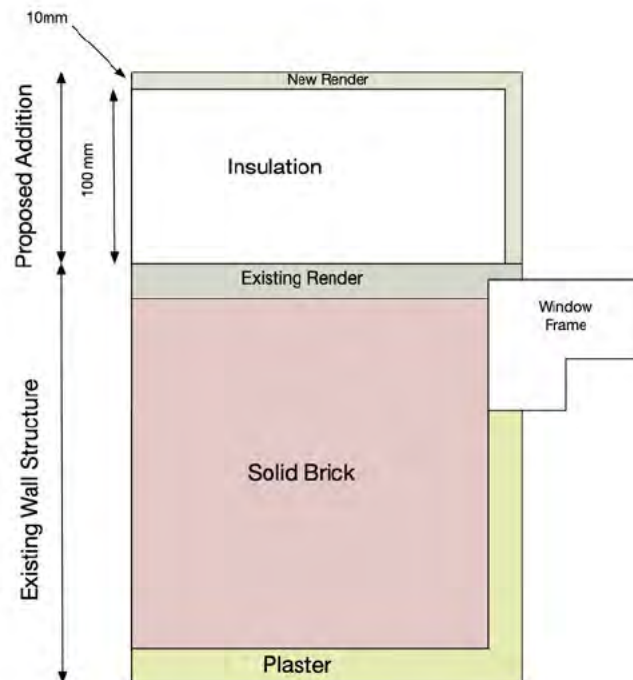
- Slightly inset windows are featured in garden city properties in the locality.
- The first floor rear upper windows are inset into the sloping roof, moving them out would have a detrimental impact on the character of the rear of the house.
- The house structure is more robust if the windows remain secured into the solid walls.
- This solution has been successfully implemented in the approved external insulation of [redacted], Letchworth.

The following work will be done to maintain the character of windows in the house.

- The insulation will be angled in on the left hand and right hand side of the bay window replicating the external insulation solution approved on [redacted]
- The existing window sills will be extended by the depth of the insulation using window sill extensions that match the existing window sill finish and profile.
- The 10cm reveal resulting from the insulation will be finished with dash render on the upper edge and left and right sides.



Window Opening Horizontal Section



The bay roof is already sufficiently overhanging to provide protection over the bay area with the external insulation.

Rear / Side Doors

The rear and side doors will be left in situ with the 10cm inset resulting from the insulation finished with dash render on the upper edge and left and right sides of the door entrances.

Rain Guards (Drip Moulds)

Six of the eleven windows on the house have a rain guard over them, just one of which is on the front elevation. Rain Guards are not a significant feature on the front elevation of this property. The existing rain guard feature will be removed and not be replicated for the following reasons:

- Safely replicating this feature would create a thermal bridge through the insulation.
- Leaving the windows in situ, sets them back slightly and the slight recess will fulfil the role of a rain guard.
- Windows of houses in the Letchworth heritage area have varied designs. There are plenty of examples (see photos below) of heritage houses which have slightly set back windows not having rain guards. Hence, the house is better able to maintain the character of a garden city property by removing the redundant rain guard feature.



Appendix A: Foundation Requested to explain grounds determining 28 South View as a Home of Special Interest

No response has been received to the following request.

From: .
Subject: Homes of Special Interest
Date: 8 November 2024 at 13:38
To: Mark Coles Mark.Coles@letchworth.com

Dear Mr Coles,

Please can you share with us the rationale for why 28 South View was designated a Home of Special Interest.

Is there a procedure for appealing the designation of our house as being a Home of Special Interest?

We look forward to receiving your response.

Regards

Appendix B: Example Case study: Planning Inspectorate Support External Insulation in a Conservation Area



The Planning Inspectorate

Appeal Decision

Site visit made on 23 April 2024

by **MRTPI**
an Inspector appointed by the Secretary of State

Decision date: 14th May 2024

Appeal Ref: APP/M5450/D/24/3337165

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by [redacted] against the decision of the Council of the London Borough of Harrow.
 - The application Ref P/2377/23, dated 15 August 2023, was refused by notice dated 26 October 2023.
 - The development proposed is cladding on the exterior of the house for insulation and rain protection.
-

Decision

1. The appeal is allowed and planning permission is granted for cladding on the exterior of the house for insulation and rain protection in accordance with the terms of the application Ref P/2377/23, dated 15 August 2023.

Preliminary matter

2. The proposal is retrospective in that the walls of the house have already been clad in external insulation with a white render finish. I saw this in place at my site visit.

Main issue

3. The main issue is whether the proposal would preserve or enhance the character or appearance of the Canons Park Conservation Area.

Reasons

1. [redacted] is a semi-detached house within the conservation area. The Council's *Canons Park Estate Conservation Area & Management Strategy* (CAA) states that the conservation area is outstanding for its landscaping, openness and high quality architecture. It advises that this is a formally planned Metroland estate largely in a Tudor Revival design.
2. [redacted] is a residential cul-de-sac mainly built up between 1915 and 1950, containing a variety of designs and materials including a number of rendered and part-rendered houses, some with decorative timbering. No [redacted],

<https://www.gov.uk/planning-inspectorate>

adjoining No , retains its red brick frontage, with a rendered feature bay at the front and a pebble dash finish to part of the side and the whole of the rear.

3. No , as rendered, sits comfortably within this mixed street scene. It is not in a particularly prominent position, near the end of the street, and is not of special architectural quality. I note the concern in policy HC1(C) of the London Plan (LP) about the cumulative impacts of incremental change, but there is a capacity for some change within the varied architectural character of the street.
4. For much the same reason I see no particular need for these 2 houses to be mirror images of each other. The rendered finish of No walls still reflects the render of No bay, helping it to blend into the street scene. It does not stand out as being at all remarkable or incongruous. The depth of the new insulation stands a bit proud of the brick walls next door and creates deep reveals around the windows, but these aspects are hardly noticeable except under scrutiny and have no significant visual impact.
5. I am required by Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to give special attention to the desirability of preserving or enhancing the character or appearance of the conservation area. In this case I conclude that the proposal preserves the character and the appearance of the conservation area. It accords with the heritage protection provisions of LP policies D3(D11) and HC1(C), Harrow Core Strategy policy CS1(B and D), Harrow Development Management Policies DM1 and DM7, the Supplementary Planning Document *Residential Design Guide*, the CAA and the National Planning Policy Framework.
6. The proposal's aim to improve energy efficiency weighs in its favour, but is not crucial to this decision as I find no harm in heritage terms. Likewise, I note the Council's concern about the breathability of the rendered walls and its suggestion that improved insulation might be achieved in other ways, but these factors do take away from my assessment of the main issue.
7. The Council does not suggest a need for any planning conditions. As the development has been carried out acceptably, I also see no need.
8. I find that the proposal accords with the development plan. For the reasons set out above, and having regard to all other matters raised, I conclude that the appeal should succeed.

INSPECTOR



Illustration 3: (house in white)

Appendix C: Correspondence seeking the Foundations Consent

From: Christopher Shipman Christopher.Shipman@lethworth.com
Subject: 28 South View
Date: 3 May 2024 at 11:25
To:
Cc: Claire Pudney Claire.Pudney@lethworth.com



Dear ,

Thank you for your application for external wall cladding to your Home of Special Interest. Understandably your proposal will have an impact on this early Bennett and Bidwell property in terms of its appearance but also the building fabric and as such we will require further information before we can assess your application. Please see the following comments:

1. We will require drawings including specifications of materials and dimensions for the proposed porch canopy.
2. We ask if you are employing a professional company to install the external cladding?
3. We also suggest that you have a Home Energy Retrofit Options Appraisal (H.E.R.O. Plan) carried out before you undergo any works.
<https://superhomes.org.uk/beds-herts/register-interest/>. This is a free service and will identify a series of measures that can be undertaken to your property.
4. We suggest that the existing external render is carefully removed prior to the installation as this will highlight any defects in the external structure which may require prior attention and may be causing existing damp and mould issues. For example, you advise that the lime mortar is failing, and it may be a case that re-pointing in lime mortar is required.
5. We would also advocate that natural material insulation is used as this will allow the transfer of moisture, allow breathability and as such would be more beneficial for the long term future of the property.
6. We have looked on the internet for Johnson's Storm Shield product, which appears to be a paint finish? Please could you provide further information on this in case we have not searched for the correct product. We would strongly recommend that you use a breathable product for the external finish to allow the breathability of the structure.
7. We will require a fully detailed specifications to prove that you can replicate the existing appearance of the property and its architectural detailing. We are concerned about the following details.
 - How you propose to finish around the existing bay window as well as the new roof canopies on the front elevation.
 - Replication of the quoining at the base of the front gable.
 - Replicating the drip moulds above the windows and door openings.
 - Replicating the brick detailing at the base of the chimney
 - How you propose to extend the roof on side and front gable.
 - How you propose to insulate below the DPC.
 - What additional ventilation system you are proposing to alleviate any condensation issues that the proposed may cause.

We look forward to receiving further information and are happy to discuss any of the above points in more detail if required.

Regards Chris Shipman

Christopher Shipman | Design Development Officer | Heritage Advice Service
Letchworth Garden City Heritage Foundation, One Garden City, Broadway, Letchworth
Garden City, Hertfordshire, SG6 3BF
T: 01462 530335
lethworth.com

From:
Subject: Re: 28 South View
Date: 6 May 2024 at 18:59
To: Christopher Shipman Christopher.Shipman@lethworth.com
Cc: Claire Pudney Claire.Pudney@lethworth.com, jj@sonander.org

Hi Chris,

Thank you for your email.

Our understanding is your remit covers external appearance. With that in mind we have responded to each of your questions in line below.

On 3 May 2024, at 11:24, Christopher Shipman <Christopher.Shipman@lethworth.com> wrote:

Dear ,

Thank you for your application for external wall cladding to your Home of Special Interest. Understandably your proposal will have an impact on this early Bennett and Bidwell property in terms of its appearance but also the building fabric and as such we will require further information before we can assess your application. Please see the following comments:

1. We will require drawings including specifications of materials and dimensions for the proposed porch canopy.

Roof material is Marley Clay Ashdowne tiles (page 5)
The dimensions are on the drawings pages 13 and 14.

- 1.
2. **We ask** if you are employing a professional company to install the external cladding?

Yes we will.

- 2.
3. We also suggest that you have a Home Energy Retrofit Options Appraisal (H.E.R.O. Plan) carried out before you undergo any works.
p.erhomes.org.uk/beds-herts/register-interest/. This is a free service and will identify a series of measures that can be undertaken to your property.

Thank you for your suggestion.

- 3.
4. We suggest that the existing external render is carefully removed prior to the installation as this will highlight any defects in the external structure which may require prior attention and may be causing existing damp and mould issues. For example, you advise that the lime mortar is failing, and it may be a case that re-pointing in lime mortar is required.

We thank you for your suggestion. However we are certain the mould is caused tly water condensing on the inside of the cold walls, and is a problem experienced by many households on this road.

- 4.
5. We would also advocate that natural material insulation is used as this will allow the transfer of moisture, allow breathability and as such would be more beneficial for the long term future of the property.

Thank you for your suggestion.

- 5.
6. We have looked on the internet for Johnson's Storm Shield product, which appears to be a paint finish? Please could you provide further information on this in case we have not searched for the correct product. We would strongly recommend that you use a breathable product for the external finish to allow the breathability of the structure.

**Johnstone's Stormshield PPG
ETICS External Wall Insulation-...**

- 6.
7. We will require a fully detailed specifications to prove that you can replicate the existing appearance of the property and its architectural detailing. We are concerned about the following details.
 - How you propose to finish around the existing bay window as well as the new roof canopies on the front elevation.

Please could you clarify this question. We are unclear as to the meaning of the word 'finish' in the question. The exterior surface will be the dash render mentioned above.

- Replication of the quoining at the base of the front gable.

I think these are the details we called corbel on page 7. These features will be extended forward by the depth of the insulation using Marley creasing tiles. We attach a photo to ensure we are talking about the same feature.



- Replicating the drip moulds above the windows and door openings.

We will be removing these for aesthetic purposes given the windows will be recessed as discussed on page 9.

- Replicating the brick detailing at the base of the chimney

This feature will be partially covered by the insulation as shown on page 10, and the details of the construction are on page 7.

-
- How you propose to extend the roof on side and front gable.

The existing roof edges will be dismantled and rebuilt to be 11 cm wider using matching tiles.

- How you propose to insulate below the DPC.

In common with the recently externally insulated property on Icknield way, we will not be insulating below the DPC.

- What additional ventilation system you are proposing to alleviate any condensation issues that the proposed may cause.

This topic appears to be outside your remit, and the proposed works do not affect ventilation in any way.

Best regards,

From: Christopher Shipman <Christopher.Shipman@letchworth.com>

Date: 9 May 2024 at 14:03:54 BST

To:

Subject: RE: 28 South View

Dear ,

Thank you for your e-mail.

We feel that you should have the survey carried out in the first instance and then ask the installation company to address any issues that the survey may raise. It is my understanding from the literature you submitted that Johnston's or their agents would carry out a survey and provide relevant specifications for your application.

These should include sectional drawings of areas where there may be cold bridging issues, around windows and doorways, junctions of roof and wall, below D.P.C. etc.

The Foundation would require the previously specified architectural features to remain and would require relevant specification from the company that explain how the maintenance or replication of these features would be achieved.

When insulating a property to the extent that you propose you will create condensation issues that will require ventilation to overcome. Any ventilation implemented may affect the external appearance of the property and therefore we would require details of these measures.

Therefore, we feel that you have submitted your application too early and ask you to re-submit once you have the relevant specifications and information.

We suggest that you provide detailed drawings for the front porch and we will deal with this as a separate application.

Regards Chris Shipman

28 South View,
Letchworth,
Herts,
SG6 3JJ
21/5/2024

Letchworth Heritage Foundation,
One Garden City
Broadway
Letchworth
SG6 3BF

Processing of Planning Applications

Dear Mr Coles,

We have made an application to the Heritage Foundation for alterations to our home (Ref 41888). The application involves external insulation and a change to the house entrance area which includes the addition of a canopy.

We have some concerns with how this application is being processed.

The scheme of management states

Any owner shall not carry out any development redevelopment or alteration materially affecting **external appearance** of the enfranchised property or of any building or structure thereon save with the written consent of the Corporation (which shall not be unreasonably withheld) and in accordance with plans drawings and specifications previously submitted to and approved by the Corporation.

Instead of processing the application, we are getting a series of questions well outside of the scope of external appearance. Out of scope topics raised include

- Speculative future applications (which we expect to be handled separately when and if they arise)
- Internal details such as ventilation
- Demands for an unspecified survey
- Cold bridging

The submitted drawings and supporting information show a design and the full extent of our proposals.

If there is any aspect of the application relating to **external appearance** where information on our proposal is incomplete then please can you officers identify the particular information required. Otherwise we would expect the Heritage Foundation to proceed to make a decision on the submitted application.

Yours sincerely,

For your background, latest email from Chris Shipman (9th May 2024)

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These should include sectional drawings of areas where there may be cold bridging issues, around windows and doorways, junctions of roof and wall, below D.P.C. etc. The Foundation would require the previously specified architectural features to remain and would require relevant specification from the company that explain how the maintenance or replication of these features would be achieved.

When insulating a property to the extent that you propose you will create condensation issues that will require ventilation to overcome. Any ventilation implemented may affect the external appearance of the property and therefore we would require details of these measures.

Therefore, we feel that you have submitted your application too early and ask you to re-submit once you have the relevant specifications and information.

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